

WEBER COUNTY PLANNING DIVISION

Administrative Review Meeting Agenda

**May 14, 2025
4:00 p.m.**

1. Administrative Items

1.1 LVC042022 : Consideration and action on a request for final approval of Scheer Acres Subdivision (1 lot).

Staff Presenter: Felix Lleverino

1.2 UVR112024: Request for final plat approval of the new location of a portion of Nordic Valley Way, located at approximately 3567 Nordic Valley Way, Eden, UT, 84310.

Staff Presenter: Tammy Aydelotte

Adjourn

The meeting will be held in Public Works Conference Room, in the Weber Center, 2nd Floor Suite240, 2380 Washington Blvd, Ogden Utah 84401

****Public comment may not be heard during administrative items. Please contact***

The Planning Division Project Manager at 801 -399-8374 before the meeting if you have questions or comments regarding an item*

In compliance with the Americans with Disabilities Act, persons needing auxiliary services for these meetings should call the Weber County Planning Commission at 801-399-8374



Staff Report to the Weber County Planning Division

Weber County Planning Division

Synopsis

Application Information

Application Request: LVC042022 - Consideration and action on a request for final approval of Scheer Acres Subdivision (1 lot).
Agenda Date: Wednesday, May 14, 2025
Applicant: Colton Scheer

Property Information

Approximate Address: 4200 W 1400 S
Project Area: 1.152 acres
Zoning: A-1
Existing Land Use: Agricultural
Proposed Land Use: Residential
Parcel ID: 15-059-0068
Township, Range, Section: 6N 2W Sec 21

Adjacent Land Use

North: Residential

South: Agricultural

East: Residential

West: Residential

Staff Information

Report Presenter: Felix Lleverino
fleverino@webercountyutah.gov
801-399-8767
Report Reviewer: RG

Applicable Ordinances

- Weber County Land Use Code Title 106 (Subdivisions)
- Weber County Land Use Code Title 104 (Zones) Chapter 2 (Agricultural Zones)

Background and Summary

The applicant requests approval from the land-use authority to subdivide vacant farmground to create a single, one-acre residential lot with an 11-acre remainder parcel fronting on 4300 West Street public right-of-way, dedicating a 10-foot public utility easement along the frontage combined with land area dedicated to the 4300 West Street. With the proximity to the Southern Pacific Rail-Road tracks, 317 feet to the north, and the Western Weber General plan bridge crossing, additional ROW dedication may be negotiated between the land owner and the county at the time when the bridge crossing is funded, designed and constructed. At this time no additional ROW dedication is necessary.

Analysis

General Plan: The proposal conforms to the West Central Weber County General Plan by implementing zoning standards that preserve the rights of landowners to develop large lots in which agricultural and residential uses are pursued.

Zoning: The subject property is located in the Agricultural A-1 Zone.

The purpose and intent of the A-1 zone are identified in the LUC §104-2 as:

The AV-3 Zone and A-1 Zone are both agricultural zone and low-density rural residential zone. The purpose of the AV-3 Zone and A-1 Zone is to:

1. Designate low-intensity farm areas, which are anticipated to develop in a rural residential development pattern;
2. Set up guidelines to continue agricultural pursuits, including the keeping of farm animals; and
3. Direct orderly low-density residential development in a continuing rural environment.

Lot area, frontage/width and yard regulations: The Site Development Standards from Section 104-2-5 require a minimum of 40,000 sq. ft. and 150' wide. This lot complies with these standards.

Culinary water: Taylor West Weber Water provided a final will-serve letter stating that the district has the capacity to provide only culinary water to the Scheer Acres subdivision. Final approval is given after the owners has established a contract with the Hooper Irrigation Company for pressurized secondary water use.

Pressurized Irrigation water: The final will-serve letter from Hooper Irrigation states the fees are paid and a sufficient number of water shares are transferred. The Hooper Irrigation Company is "willing and able to take responsibility for the installed lines."

Sanitary Sewage Services: The Central Weber Sewer District will serve the sanitary sewer needs of this development. The owner is currently working to finalize annexation into the sewer district. The Central Weber Sewer District will provide sewer services to this proposal.

Review Agencies: The subdivision application will be required to comply with all review agency requirements. The Planning Division is ready to grant final approval. The County Surveyor's office has completed their review and are awaiting the completion of revisions. The Weber Fire District review states the owner is responsible for installing a fire hydrant if there are none within 500 feet of the home location. The County Engineering Department may require some attention, specifically, subdivision plat notes, a deferral agreement for curb, gutter, and sidewalk, and a subdivision improvement guarantee for subdivision improvements.

Staff Recommendation

Staff recommends final approval of Scheer Acres Subdivision. This recommendation is based on the review agency requirements and the following conditions:

1. A deferral agreement for curb, gutter, and sidewalk is signed by the owner.
2. The Fire District requirements for the installation of a hydrant within 500 feet of the home.
3. The subdivision plat should include a set-back line from the street typical of an 80 foot right-of-way.

The following findings are the basis for the staff recommendation:

1. Scheer Acres conforms to the West Central Weber County General Plan.
2. The size and width of each lot comply with the zoning regulations.
3. All review agency approval will be granted before the final plat is recorded.

Exhibits

- A. Scheer Acres Subdivision Plat (final)
- B. Final Culinary Will-Serve Letter
- C. Final Secondary Water Will-Serve
- D. Central Weber Sewer Letter

Area Map



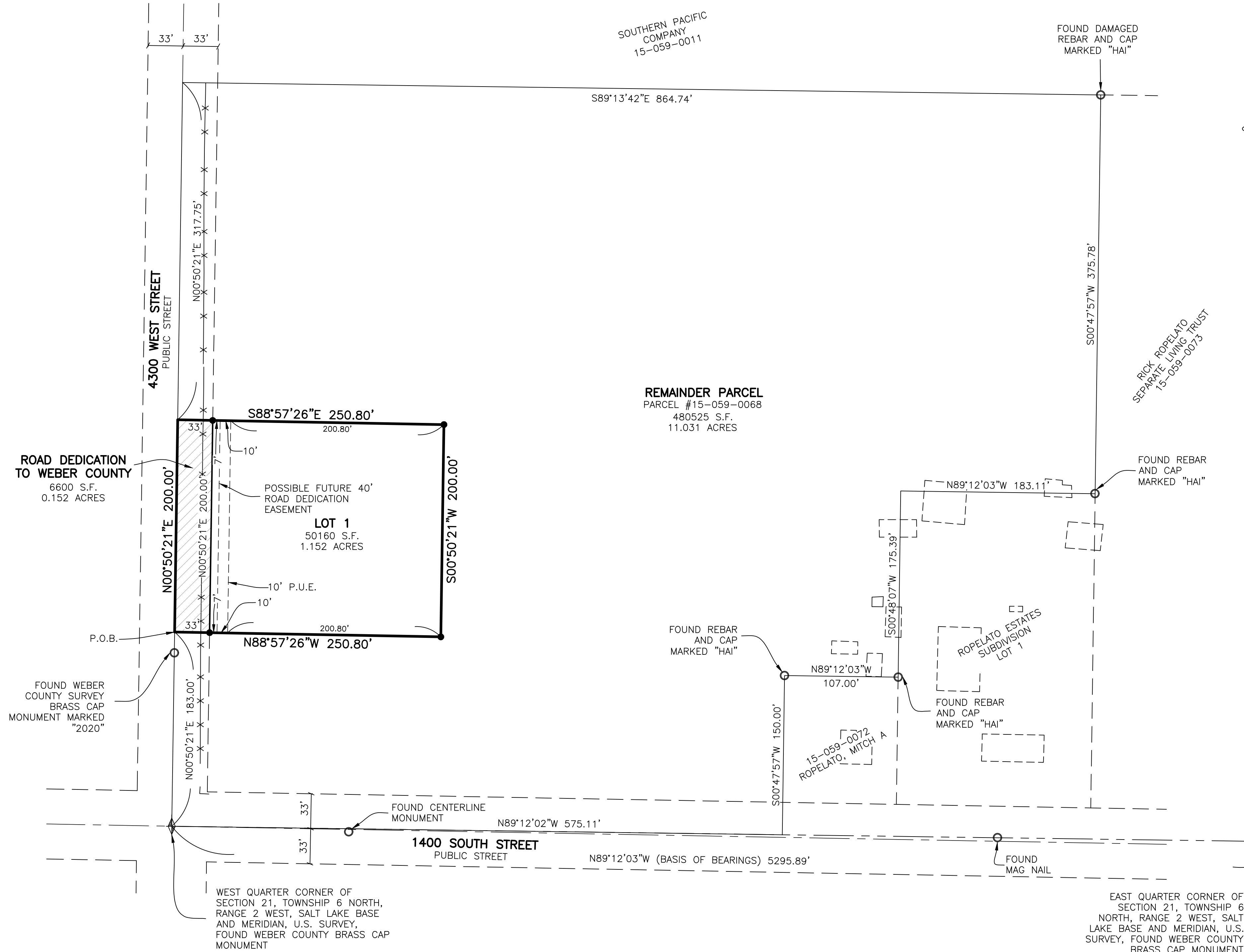
Exhibit A

SCHEER ACRES SUBDIVISION

PART OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
WEBER COUNTY, UTAH
MAY, 2025



VICINITY MAP
NO SCALE



AGRICULTURAL NOTE

AGRICULTURE IS THE PREFERRED USE IN THE AGRICULTURAL ZONES. AGRICULTURAL OPERATIONS AS SPECIFIED IN THE LAND USE CODE FOR A PARTICULAR ZONE ARE PERMITTED AT ANY TIME INCLUDING THE OPERATION OF FARM MACHINERY AND NO ALLOW AGRICULTURAL USE SHALL BE SUBJECT TO RESTRICTION ON THE BASIS THAT IT INTERFERES WITH ACTIVITIES OF FUTURE RESIDENTS OF THIS SUBDIVISION.

WEBER COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION. SIGNED THIS _____ DAY OF _____, 20____.

CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

WEBER COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH THE COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.

WEBER COUNTY ENGINEER

WEBER COUNTY SURVEYOR

I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT FOR MATHEMATICAL CORRECTNESS, SECTION CORNER DATA, AND FOR HARMONY WITH LINES AND MONUMENTS ON RECORD IN COUNTY OFFICES. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH. SIGNED THIS _____ DAY OF _____, 20____.

WEBER COUNTY SURVEYOR

WEBER COUNTY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT, AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND AFFECT. SIGNED THIS _____ DAY OF _____, 20____.

WEBER COUNTY ATTORNEY

SURVEYOR'S CERTIFICATE

I, **JASON T. FELT**, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF **SCHEER ACRES SUBDIVISION** IN **WEBER COUNTY**, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE **WEBER COUNTY** RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND. I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF **WEBER COUNTY** CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 20____.

9239283
UTAH LICENSE NUMBER



OWNERS DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THE PLAT AND NAME SAID TRACT **SCHEER ACRES SUBDIVISION**. AND DO HEREBY DEDICATE TO PUBLIC USE ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES AND ALSO TO GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED HEREON AS PUBLIC UTILITY, STORM WATER DETENTION PONDS DRAINAGE EASEMENTS AND CANAL MAINTENANCE EASEMENT, THE SAME TO BE USED FOR THE INSTALLATION MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINE, STORM DRAINAGE FACILITIES, IRRIGATION CANALS OR FOR THE PERPETUAL PRESERVATION OF WATER CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY THE GOVERNING AUTHORITY, WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN SUCH EASEMENTS.

SIGNED THIS _____ DAY OF _____, 20____.

LA FATTORIA LLC

NAME/TITLE

ACKNOWLEDGMENT

STATE OF UTAH)ss.
COUNTY OF _____)

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ (AND) _____ SIGNER(S) OF THE ABOVE OWNER'S DEDICATION AND CERTIFICATION, WHO BEING BY ME DULY SWORN, DID ACKNOWLEDGE TO ME _____ SIGNED IT FREELY, VOLUNTARILY, AND FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES

NOTARY PUBLIC

ACKNOWLEDGMENT

STATE OF UTAH)ss.
COUNTY OF _____)

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ (AND) _____ BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE _____ AND _____ OF SAID LA FATTORIA LLC AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID LA FATTORIA LLC FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES

NOTARY PUBLIC

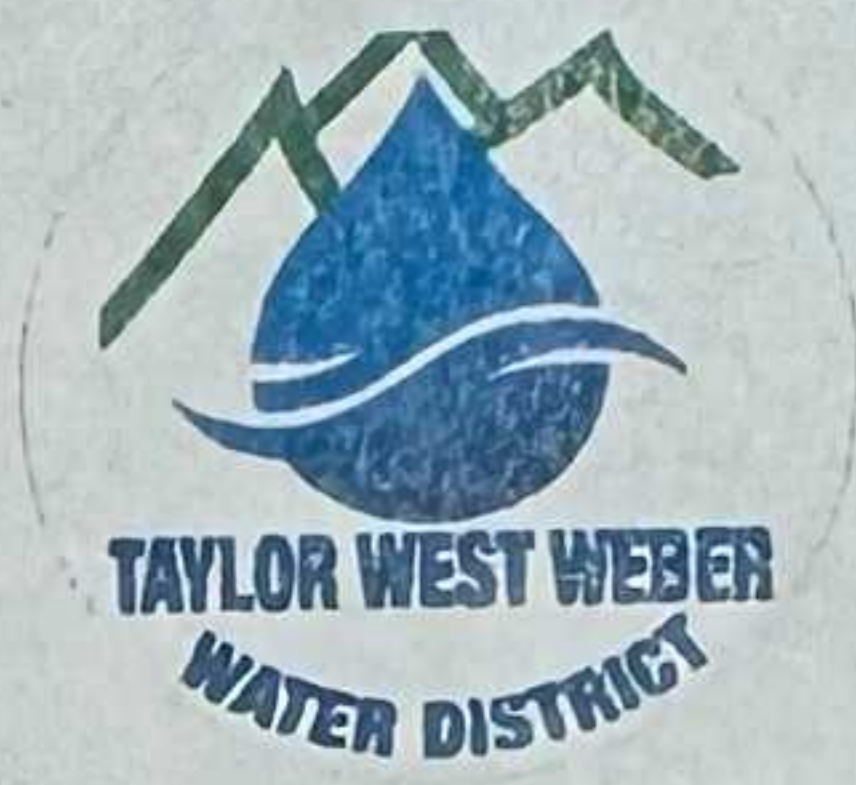
Project Info.

Surveyor: J. FELT
Designer: E. ROCHE
Begin Date: 3-14-25
Name: SCHEER ACRES SUBDIVISION
Number: 8483-01
Revision: _____
Scale: 1"=60'
Checked: _____



DEVELOPER:

COLE SCHEER
4480 W. 2050 N.
PLAIN CITY, UT. 84404



2815 WEST 3300 SOUTH
WEST HAVEN, UTAH 84401
801-731-1668

4/30/2025

Weber County Planning Commission
2380 Washington Boulevard
Ogden, Utah 84401

To Whom It May Concern:

This is to inform you that **Final Will Serve and Subdivision approval** has been given, Taylor West Weber Water Improvement District has the capacity to provide **only** culinary water for the Scheer Subdivision a **1-lot** subdivision. The address is approx. 4300 W. 1400 S. Taylor UT. Taylor West Weber Water Improvement District currently has a 10 "water line on 1400 S. and a 6" water line on 1400 S. **Water right impact fees, impact fees, water meter fee and plan review have all been paid.** A **pressurized secondary** water contract has been established with Hooper Irrigation for pressurized secondary water use. The service will either need to be installed by an approved contractor or Taylor West Weber Water will install the service for an additional cost of \$2,300.00. You may contact me with any additional questions.

A handwritten signature in blue ink, appearing to read "Ryan Rogers", with a stylized flourish at the end.

Sincerely,

Ryan Rogers-Manager
Taylor West Weber Water District



PO Box 184	Phone: (801)985-8429
5375 S 5500 W	Fax: (801)985-3556
Hooper, Utah 84315	hooperirrigationco@msn.com

April 30, 2025

Weber County Planning Commission
2380 Washington Blvd, #240
Ogden, Utah 84401

RE: FINAL WILL SERVE LETTER – Scheer Acres Subdivision

The development is located at approximately 4300 W and 1400 S in West Weber, Utah and consists of one building lot.

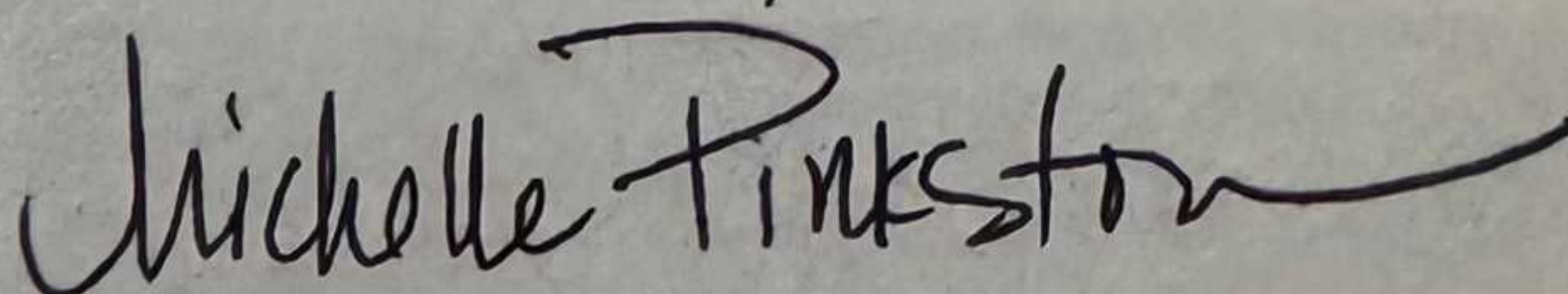
Hooper Irrigation Company has pressure irrigation water available for the above project located at the above address and Hooper Irrigation is willing to provide secondary pressurized water at the time occupancy occurs.

This letter states that the above project is in the boundaries of Hooper Irrigation Company. A formal application has been made to our office and the fee for application as well as the plan review and lot review fees have been paid. There were an adequate number of water shares surrendered for the development water use and the access fees to the Secondary System have been paid.

The subdivision utility plans have been reviewed by Hooper Irrigation and changes, if any, have been made and corrected. The plans have been approved for the above subdivision. Hooper Irrigation is willing and able to take responsibility for the installed lines. Only this project is in consideration and guaranteed service and the plan review is good only for a period of one year from the date of this letter, if not constructed.

Hooper Irrigation's specifications are available at the company office. If you have any questions, please call the office at (801)985-8429

Sincerely,



Michelle Pinkston
Office Manager
Board Secretary



Central Weber Sewer Improvement District

January 29, 2025

Felix Llevernio
Weber County Planning Commission
2380 Washington Blvd #240, Ogden, UT 84401

SUBJECT: Colton & Jessica Sheer
Sanitary Sewer Service
Will Serve Letter

Felix:

We have reviewed the request of Colton & Jessica Sheer to provide sanitary sewer treatment services to the subdivision called Colton & Jessica Sheer residence located at approximately 4200 W 1400 S. We offer the following comments regarding Central Weber Sewer Improvement District (the District') providing sanitary sewer service.

1. At this time, the district has the capacity to treat the sanitary sewer flow from this subdivision. Inasmuch as the system demand continuously changes with growth, this assessment is valid for three (3) years from the date issued on this letter.
2. If any connection is made directly into the district's facilities the connection must be constructed in accordance with District standards and must be inspected by the district while the work is being done. A minimum of 48-hour notice for inspection shall be given to the district prior to any work associated with the connection.
3. Central Weber Sewer Improvement District is a wholesale wastewater treatment provider to Weber County. The connection to the sewer system must be through a retail provider, which we understand to be Weber County. The district will not take responsibility for the condition, ownership or maintenance of the proposed sanitary sewer lines (gravity or pressure) or system that will be installed to serve this subdivision.
4. The connection of any sump pumps (or similar type pumps) to the sanitary sewer system is prohibited during or after construction. The District's Wastewater Control Rules and Regulations state:



Central Weber Sewer Improvement District

Prohibited Discharge into Sanitary Sewer. No person shall discharge or cause or make a connection which would allow to be discharged any storm water, surface water, groundwater, roof water runoff or subsurface drainage to any sanitary sewer.

5. The entire parcel of property to be served must be annexed into the Central Weber Sewer Improvement District prior to any sewer service connection or connection to the District's facilities. This annexation must be complete before the sale of any lots in the subdivision. Annexation into the District is permitted by the District's Board of Trustees. This will serve letter is a statement of available capacity and does not guarantee board approval of annexation.
6. Impact fees must be paid no later than the issuance of any building permits.

If you have any further questions or need additional information, please let us know.

Sincerely,

Clay Marriott

Project Manager

CC: Chad Meyerhoffer, Weber County
Kevin Hall, Central Weber Sewer
Paige Spencer
Nate Bybee



Staff Report for Administrative Review

Weber County Planning Division

Synopsis

Application Information

Application Request: Request for final plat approval of the new location of a portion of Nordic Valley Way , located at approximately 3567 Nordic Valley Way, Eden, UT, 84310

Agenda Date: Wednesday, May 14, 2025

Application Type: Subdivision, administrative

Applicant: Eric Langvardt

File Number: UVR112024

Property Information

Approximate Address: 3567 Nordic Valley Way, Eden, UT, 84310

Project Area: 3.12 acres

Zoning: FB (Form-Based)

Existing Land Use: Vacant

Proposed Land Use: Public Right-of-Way

Parcel ID: 22-023-0059, 22-023-0112, 22-023-0113, 22-023-0087, 22-023-0088, 22-023-0060

Adjacent Land Use

North:	Nordic Valley Rd	South:	Nordic Valley Resort
East:	Nordic Valley Resort	West:	Nordic Valley Ski Resort

Staff Information

Report Presenter: Tammy Aydelotte
taydelotte@webercountyutah.gov
801-399-8794

Report Reviewer(s): RG

Applicable Ordinances

- Title 104 (Zones) Chapter 22, Form-Based Zone
- Title 106 (Subdivisions)
- Utah Code Title 17 (Counties) 27a (CLUDMA), Part 6 Subdivisions

Background and Summary

The application was accepted for review on November 20, 2024. Since that time, the vacation of a portion of Nordic Valley Way has been approved by the Weber County Commission (ordinance 2025-07, approved 4/22/2025), conditioned upon the dedication of the new location of this portion of Nordic Valley Way is approved, and accepted by Weber County. Staff has been in the process of reviewing the development agreement (recorded 3/14/2023) as well as the engineered plans for the proposed roundabout at Nordic Valley Way and Viking Drive. This roundabout is where the new location for this roadway section will tie into Viking Drive and the continuation of Nordic Valley Way.

Analysis

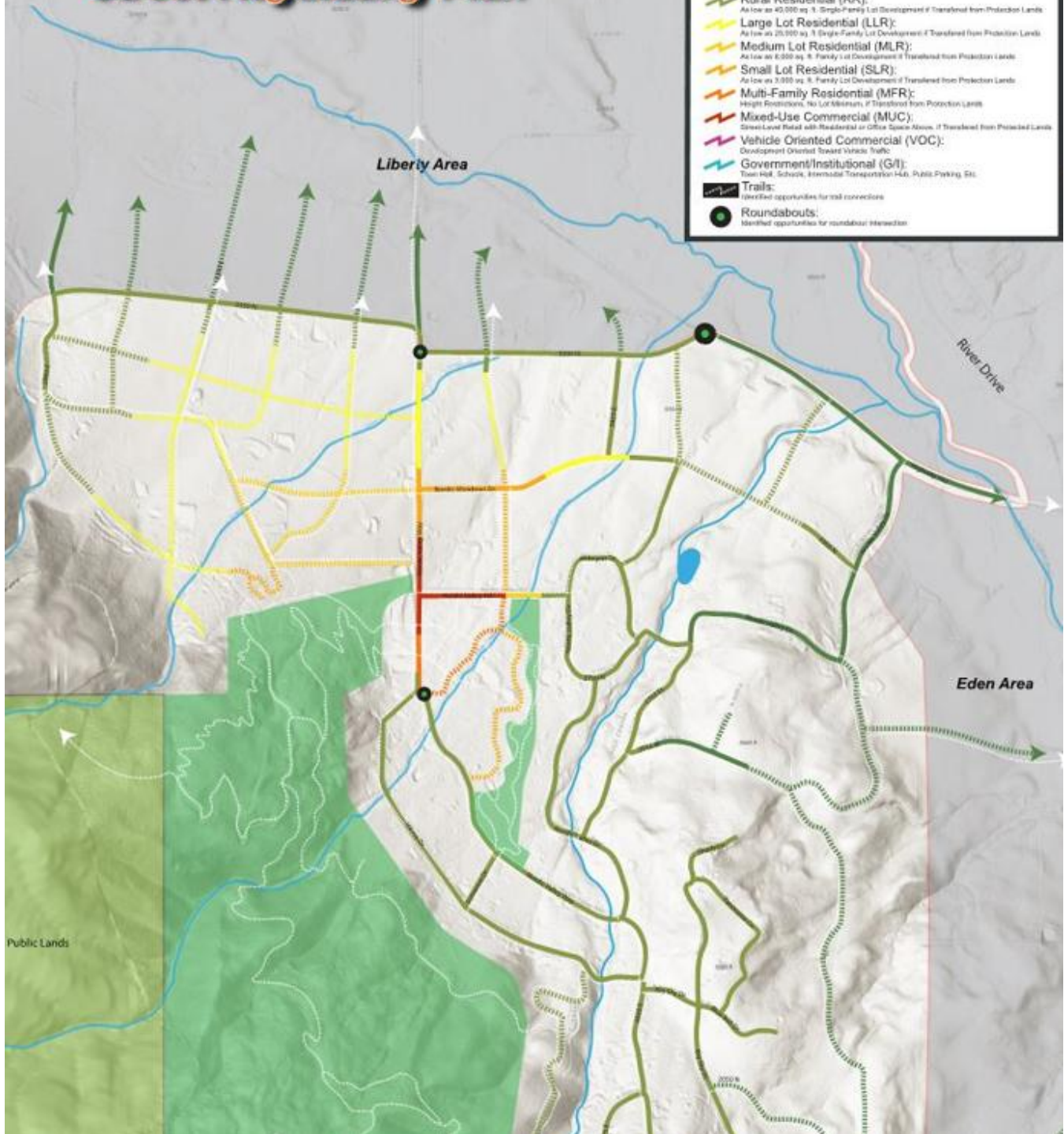
General Plan: The Ogden Valley General Plan anticipates a mixed-use resort development in this location. The proposal is to realign a portion of Nordic Valley Way to better allow for traffic circulation around this mixed-use residential portion of this planned village. The Form-Based Zone allows for a street's placement to be within 200 feet of the street's location shown on the Nordic Valley Street Regulating Plan (LUC 104-22-8(a)).

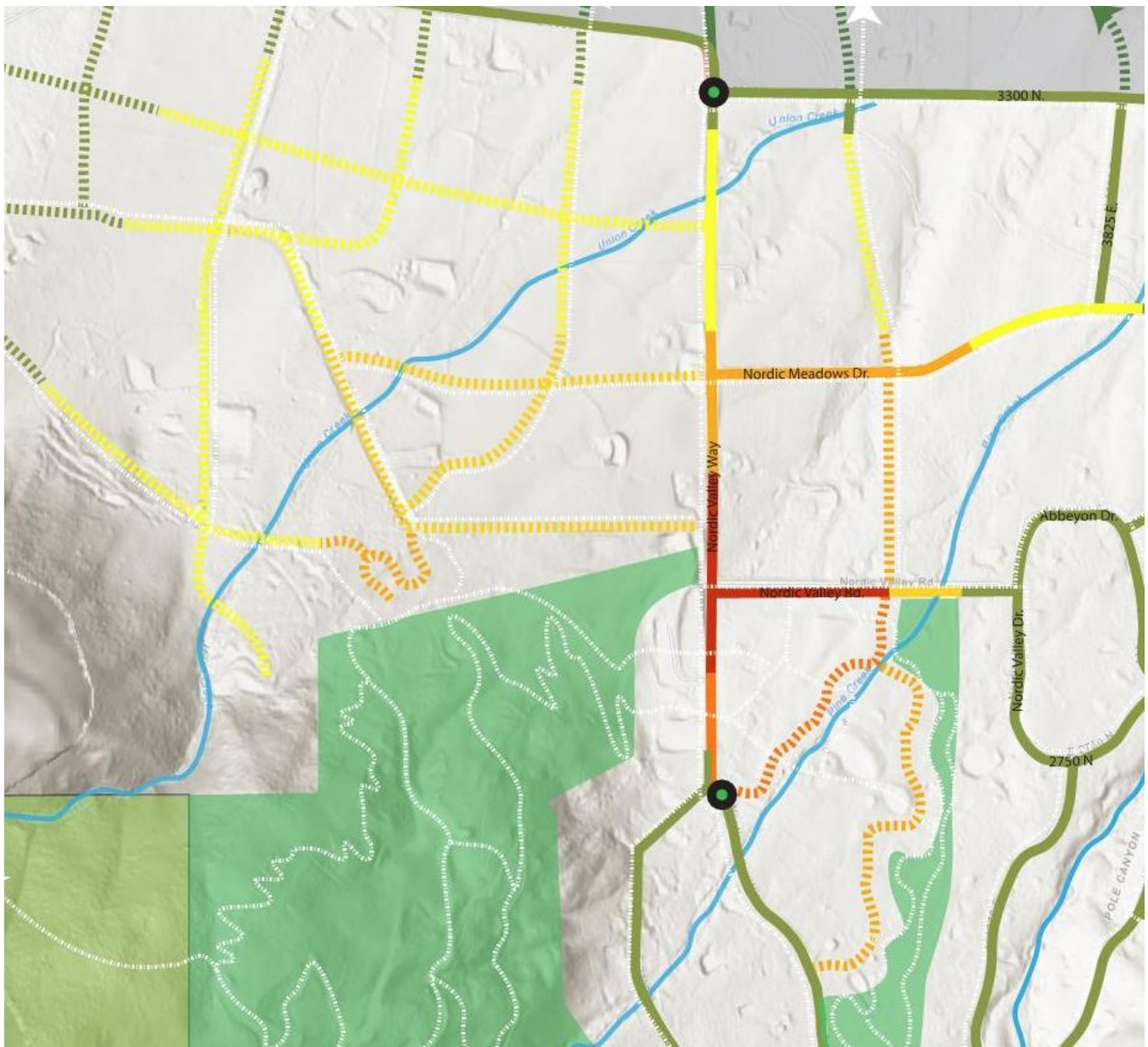
Public street infrastructure: Nordic Valley Way is part of the Nordic Street Regulating Plan (see Exhibit C). The applicant is proposing a 100' wide ROW until the southern 385' where it ties into the new roundabout where the proposed width narrows to 72.5'. The 100' wide section shall be designed to the two-lane village cross-section with cross-slopes, which includes sidewalk, a tree lane, curb and gutter, angled street parking, and a bicycle travel lane. The 72.5' wide section shall be widened in the future, as development continues along this right-of-way. Per the Nordic Street Regulating Plan, this ROW shall be 100' the entire length as it approaches the roundabout.

This subdivision will involve relocation of water infrastructure. Weber County Engineering is requiring acknowledgement from the water district of the relocation of this infrastructure. All review agency requirements shall be met prior to final plat recordation.

NORDIC VALLEY AREA

Street Regulating Plan





Review Agencies: This right of way plan has been reviewed by the Planning Division, Engineering Division, and the Weber Fire District. The final subdivision plat and improvement drawings will be reviewed and approved by the county surveyor and engineering division, prior to final plat recordation.

Per Utah Code, 17-27a-6, a section plat is required when any land is to be subdivided. This plat proposes to subdivide land and dedicate this land as a public right-of-way

Staff Recommendation

Staff recommends final approval of the road dedication plat for the new location of this portion of Nordic Valley Way, subject to all review agency requirements.

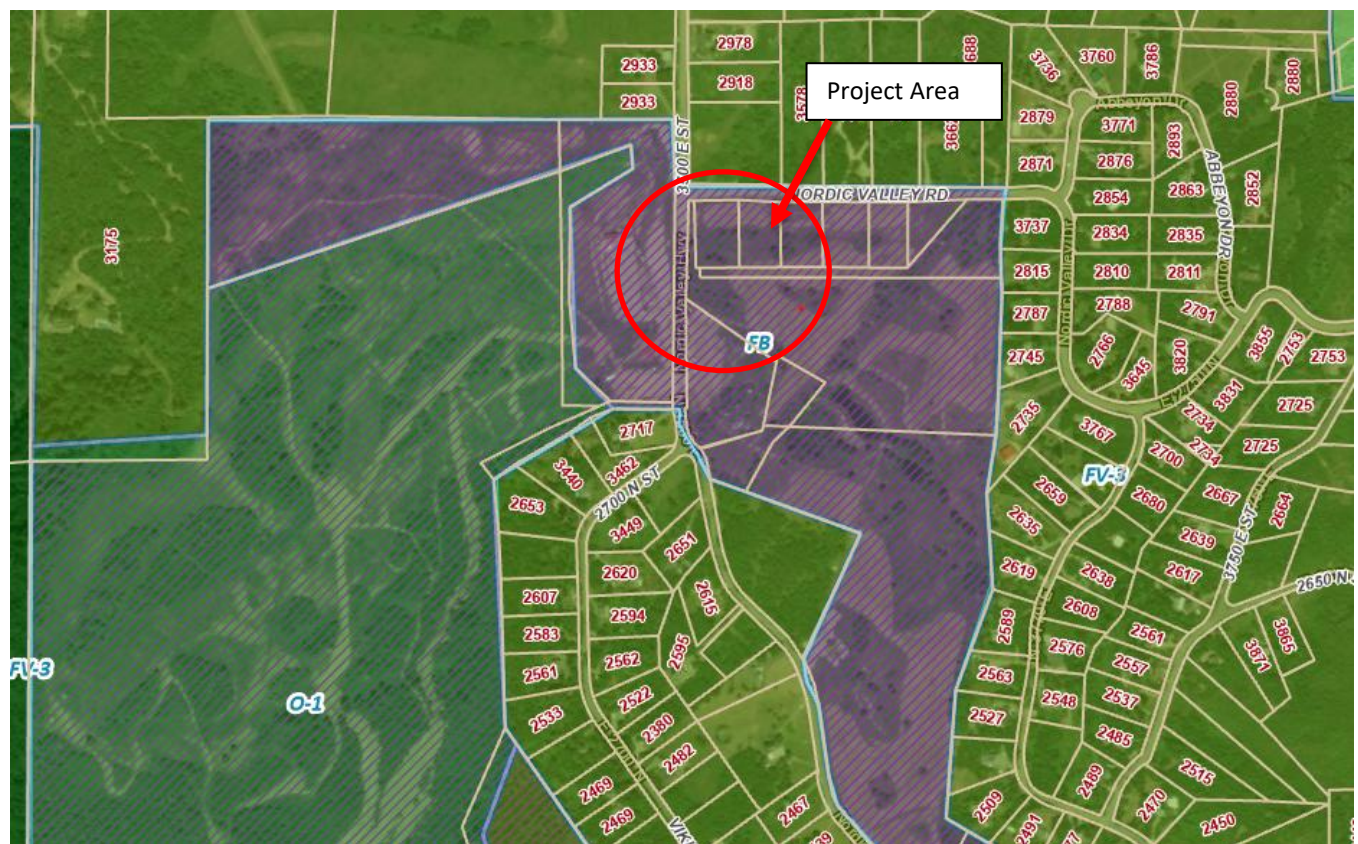
This recommendation for approval is subject to all review agency requirements and based on the following findings:

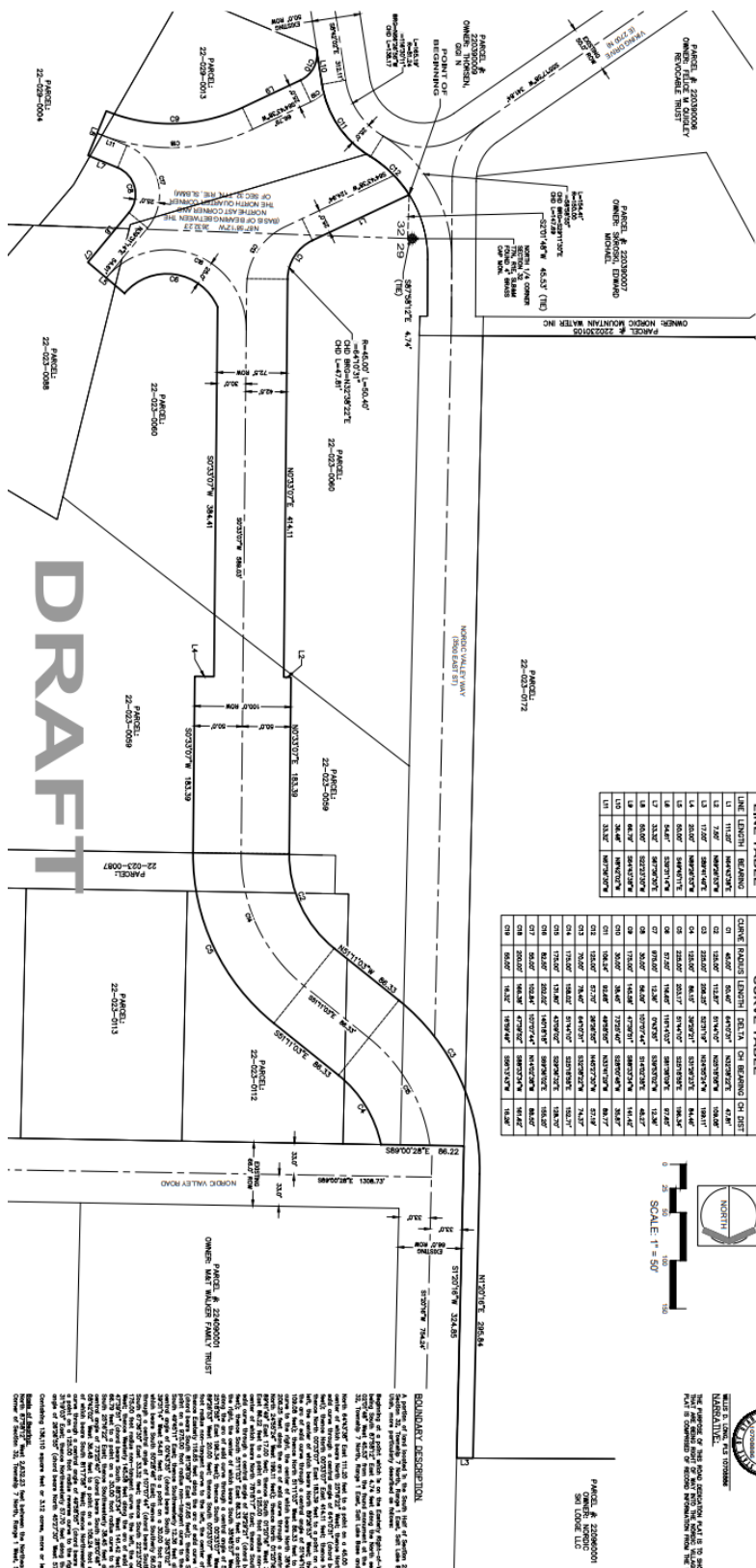
1. The proposed subdivision conforms to the Ogden Valley General Plan, and the Nordic Street Regulating Plan.
2. The proposed subdivision complies with applicable County ordinances and development agreement.

Exhibits

- A. Proposed Final Plat
B. Road Detail & Cross-Section Standards

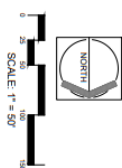
Location map





ROAD DEDICATION PLAT
A PARCEL OF LAND AT NORDIC VILLAGE SITUATED SOUTH HALF OF SECTION 29 AND NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, WEBER COUNTY, UTAH
_____, 2024 - SURVEY MARKERS WERE PLACED.

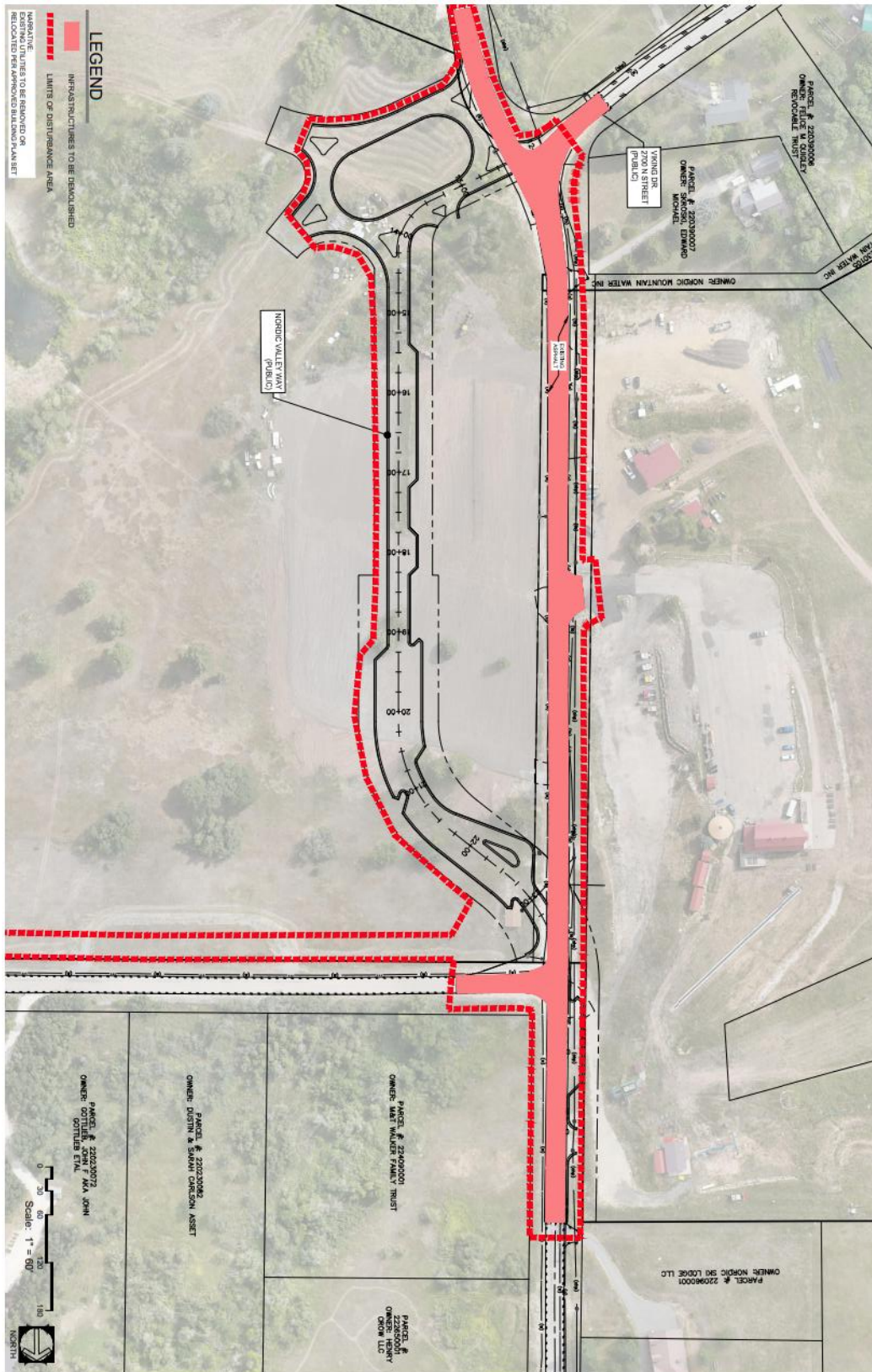
LINE TABLE		
LINE	LENGTH	BEARING
L1	111.30'	N44°42'30"E
L2	7.65'	N89°28'33"W
L3	17.00'	S89°11'46"E
L4	20.00'	N89°28'33"W
L5	50.00'	S44°06'17"E
L6	54.81'	S33°31'47"W
L7	33.30'	S47°28'30"E
L8	60.00'	S22°23'30"W
L9	66.79'	S04°43'28"W
L10	38.44'	N14°27'02"E
L11	33.30'	N07°28'30"W

[illegible][illegible]

BOUNDARY DESCRIPTION

[illegible]

More Detailed Plans on File with Weber County.



VILLAGE CROSS SECTION - WITH CROSS SLOPE

